

1.1 BROOKLYN PRECINCT

OVERVIEW

The Brooklyn precinct has a low proportion of open space per person. The precinct should create new and improved connections and facilities to encourage more walking and exercise as well as connect workers and residents to other surrounding areas.

PRECINCT FEATURES		
Current population (2017)	1,838	
Forecast population (2036)	2,056	
Amount of open space per person		3.7ha per 1000 people
Total precinct area		216ha
Passive open space	3.8%, or	8.25ha
Formal open space (e.g. Sports fields)	0.5%, or	1.00ha
Encumbered open space accessible to the public	2.2%, or	4.79ha
Other open space (e.g. Not accessible to the public)	10.4%, or	22.5ha
Strategic or key development sites	-	
Types of open space (Hierarchy classification)	» 1 linear » 4 local » 2 neighbourhood	

EXISTING OPEN SPACES	CURRENT/PROPOSED HIERARCHY
Brooklyn Reserve	Neighbourhood
Duane, D. N. Reserve	Neighbourhood
Historical Bridge Reserve	Local
Lynch Road Reserve	Linear
Pipeline Res (Millers Rd to Geelong Rd)	Local
Rowan Avenue Reserve	Local
The Memorial Park	Local



Brooklyn Reserve, Brooklyn (Image: Planisphere)

PRECINCT OVERVIEW

Due to a range of improvements over the past five years, open space in Brooklyn has improved significantly with more diversity of facilities and landscape settings and enhanced connectivity.

As Brooklyn has the highest number of residents in Hobsons Bay who do not own a car, walking and transport connections are critical. Recently created links between Cypress Avenue and the Federation Trail have connected two previously disconnected sections of the community and a new perimeter path at Brooklyn Reserve will encourage more walking and exercise.

CURRENT PROFILE

Brooklyn also has a higher than municipal average of people aged over 70. Couples with families have been moving out of the area and there has been a recent increase in single parent families, group households and lone person households.

FUTURE TRENDS

Brooklyn is expected to go through a process of regeneration of the ageing population, with younger families expected to move into the area.

There are limited infill development opportunities in existing residential areas with the majority of

development expected in the industrial areas.

Establishing good quality open space within industrial areas as development occurs will be a challenge and a focus should be on improving facilities and links to nearby open space in the first instance as a priority for parks in the area.

Creating new and improved pathways to link to Altona Gate as well as the future Kororoit Creek Trail will connect workers and residents to open space and surrounding areas. Advocating to other agencies to improve the condition of the Federation Trail is also a high priority.

Brooklyn's residential areas have a high provision of and good access to open space however, overall the precinct has the second lowest proportion of open space at 4.4% and significant gap areas in the industrial parts of the precinct. This shortfall could be enhanced by improving connections and facilities at nearby reserves (Historic Bridge Reserve/ Kororoit Creek environs and Almond Avenue Reserve) and through levying new open space through future development in industrial areas.

There is a low rate of population growth expected and availability of open space per capita is above the municipal average at 3.7 hectares per 1000 people.

Open space values to celebrate and enhance in

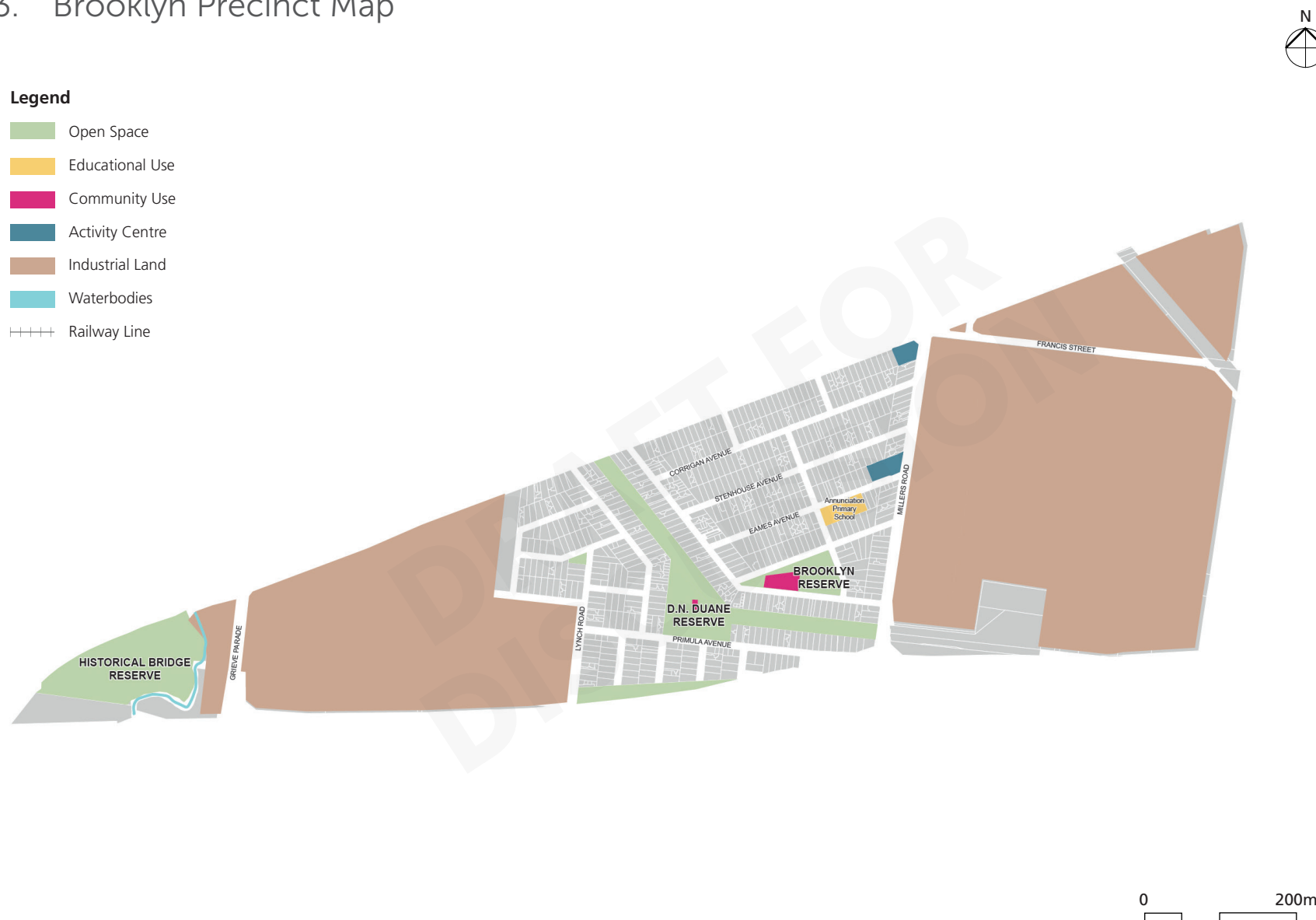
this precinct are the natural landscape character and indigenous cultural heritage of the Kororoit Creek and interpretation of the Historic Bluestone Bridge and Melbourne Water outfall sewer.

The following spaces have been highlighted as particular opportunities for upgrades:

- » Brooklyn Reserve
- » DN Duane Reserve
- » Pipeline Reserve (Millers Road to Geelong Road)
- » Rowan Avenue Reserve.

Refer to the actions table over the following pages for more detail and in Appendix E and G.

Figure 23. Brooklyn Precinct Map



BROOKLYN PRECINCT ACTIONS

PRIORITY	ACTIONS
Short-term 0-2 years	<p>Undertake detailed design and implement stage one of the Kororoit Creek Trail (West Gate Freeway to Princess Freeway)</p> <p>Implement new dog park at Brooklyn Reserve</p> <p>Undertake feasibility study and prepare plans for renewal works that will address existing demand for open space at the Pipeline Reserve (Millers Road to Geelong Road) and Rowan Avenue Reserve.</p>
Medium-term 2-5 years	<p>Investigate opportunities to encourage self directed activity in open space in consultation with the community (in particular local youth) and implement.</p> <p>Install seating at key open space locations throughout Brooklyn</p> <p>Resolve the future use of Francis Sullivan Kindergarten building at Brooklyn Reserve</p> <p>Investigate on road cycling connections and wayfinding signage following the construction of the Kororoit Creek Trail.</p> <p>Undertake renewal works to address existing demand for open space at the Pipeline Reserve (Millers Road to Geelong Road) and Rowan Avenue Reserve.</p>
Long-term 5-10 years+	<p>Investigate the feasibility of upgrading the soccer pavilion and facilities at DN Duane Reserve</p> <p>Upgrade Rowan Avenue Reserve and playground</p> <p>Install a public toilet at Brooklyn Reserve and complete any minor upgrades to complete this Neighbourhood Park</p> <p>Investigate the potential for installation of a public toilet at Brooklyn Reserve and complete any minor upgrades to complete this Neighbourhood Park</p>
Advocacy	<p>Advocate for community benefits compensation for the loss of open space at Lynch Road Reserve as a result of the Western Distributor Project</p>



Pipeline Reserve, Brooklyn (Image: Planisphere)