

# 1.1 NEWPORT EAST PRECINCT

## OVERVIEW

The Newport East precinct has a high proportion of open space per person. Addressing gaps in distribution of open space away from the foreshore and an under-supply of passive open space in the north will ensure good provision of open space continues.

PRECINCT FEATURES		
Current population (2017)	4,443	
Forecast population (2036)	4,345	
Amount of open space per person		3.4ha per 1000 people
Total precinct area		241ha
Passive open space	4.8%, or	11.59ha
Formal open space (e.g. Sports fields)	3.7%, or	8.93ha
Encumbered open space accessible to the public	4.8%, or	11.54ha
Other open space (e.g. Not accessible to the public)	8.2%, or	19.7ha
Strategic or key development sites		
Types of open space (Hierarchy classification)	<ul style="list-style-type: none"> <li>» 2 district</li> <li>» 4 local</li> <li>» 1 neighbourhood</li> <li>» 5 regional</li> </ul>	

EXISTING OPEN SPACES	CURRENT/PROPOSED HIERARCHY
Aphrasia Lane Reserve	Local
Armstrong Reserve	Local
Charles Bates Reserve	Regional
Coronation Reserve	Local
Digman Reserve	Neighbourhood
Greenwich Reserve	District
Newport Athletics Track	Regional

EXISTING OPEN SPACES	CURRENT/PROPOSED HIERARCHY
Newport Park	District
Sandy Point Nature Reserve	Regional
The Spit Nature Reserve	Regional
Warmies Boat Ramp	Regional
Williamstown Junction Reserve	Local



Sandy Point Nature Reserve, Newport East (Image: Planisphere)

## PRECINCT OVERVIEW

Newport East has very good open space provision at 6.5%, primarily due to the group of reserves located on the foreshore. The amount of open space available per capita is only marginally below the municipal average at 3.4 hectares per 1000 people.

There are some gaps in the distribution of open space away from the foreshore, which can primarily be addressed with improved pedestrian connections and standards of development, mostly at Digman and Armstrong Reserves. There is also an under-supply of local and neighbourhood passive open space in the northern section of the precinct.

Newport East is connected to the Williamstown area and CBD by the Coastal Trail and across the railway line to Newport West via Kohry Reserve and Newport Station, however the condition of these connections needs improvement.

There is a great diversity of open spaces with sporting facilities, skate park, children's play, dog walking, fishing and boating, conservation areas and coastal environs.

## CURRENT PROFILE

Newport East's population has a higher than average number of couples with children (37.1% compared to the average of 31.7% for Hobsons Bay), and an increase since 2006 in single parent families. There are significantly lower numbers of 18-34 year olds in this neighbourhood and higher numbers of older workers and pre-retirees.

This population is the least disadvantaged community in Hobsons Bay with a SEIFA score of 1087.

A focus for this community, with its spectrum of age ranges, will be providing connected and accessible open spaces with diverse play opportunities and landscape settings and opportunities for self directed exercise.

## FUTURE TRENDS

There is limited to no large scale development potential in this precinct and the population is predicted to see minimal growth. There is however potential for the larger open spaces and facilities in the precinct to play an increasing role in addressing the formal sporting needs of surrounding areas.

The key challenge for this precinct will be to address condition, quality and access at the 'Newport Waterfront Parklands' and resolving land ownership and management arrangements in this area.

The following spaces have been highlighted as particular opportunities for upgrades:

- » Digman Reserve
- » Greenwich Reserve
- » Newport Athletics Track
- » Newport Park
- » Sandy Point Nature Reserve
- » The Spit Nature Reserve
- » Coastal Trails within Newport East
- » Newport Angling Club Jetties.

Refer to the actions table over the following pages for more detail and in Appendix E and G.

Figure 25. Newport East Precinct Map



Newport Park, Newport East (Image: Hobsons Bay City Council)

## NEWPORT EAST PRECINCT ACTIONS

PRIORITY	ACTION
<b>Short-term</b> <b>0-2 years</b>	Finalise a master plan for Digman Reserve that considers balancing the passive and sporting uses at the reserve.
	Implement priority improvements, including a shared path connection on the north boundary that can link the Kohry Reserve (Newport West) rail underpass to High Street and through to the Bay Trail Network.
	Undertake assessments to prioritise renewal and upgrade works at Aphrasia Lane Reserve, Charles Bates Reserve to cater to existing demand in the precinct.
<b>Medium-term</b> <b>2-5 years</b>	Prepare a parkland development plan with extensive consultation for the Newport Riverside Park (refer to actions in Spotswood-South Kingsville)
	Undertake assessments and condition audits to identify and implement improvements to Williamstown Junction Reserve and Coronation Reserve
	Continue to implement priority improvements at the Newport waterfront parklands (Riverside Park and Greenwich Reserve)
	In consultation with the local community prepare a park development plan for Armstrong Reserve to lift its status and amenity level to a Neighbourhood park.
	Ensure an appropriate landscape buffer is designed and implemented to delineate the park from the three-storey town house development on the southern boundary of the park.
	Implement the actions from the Foreshore Infrastructure Upgrade Plan (2015) as related to the open space network
	Implement the actions from the Foreshore Infrastructure Upgrade Plan (2015) as related to the open space network at Greenwich Reserve
	Upgrade playspace and amenity at The Strand
	Implement the Hall Street street and landscape improvements as part of the broader implementation of public space upgrades as identified in the Newport Structure Plan.
	Upgrade the playspace and general amenity at Greenwich Reserve (The Strand), Newport and investigate shade tree planting along The Strand

PRIORITY	ACTION
<b>Long-term</b> <b>5-10 years</b>	Undertake upgrade works to Newport Park and Newport Athletics track to cater for existing and future demand.
	Undertake upgrades to the Newport Angling Club Jetties, Warmies Boat Ramp and Coastal Trails through the precinct to cater for existing and future demand, and to ensure these assets retain their unique character and function as district and regionally-significant spaces.
<b>Advocacy</b>	Advocate to VicRoads for the installation of priority pedestrian crossings on Melbourne Road
	Work with PoMC, Parks Victoria and DELWP to clarify foreshore management responsibilities and improved open space outcomes
	Advocate to the POMA for improved amenity and access to parcels of open space land along the foreshore - and a full upgrade to the Bay Trail Shared Path Network
<b>Special Areas</b>	Where appropriate, provide way-finding signage and celebrate special areas through creative interpretive information linking visitors to:
	» The conservation values at Sandy Point and The Spit